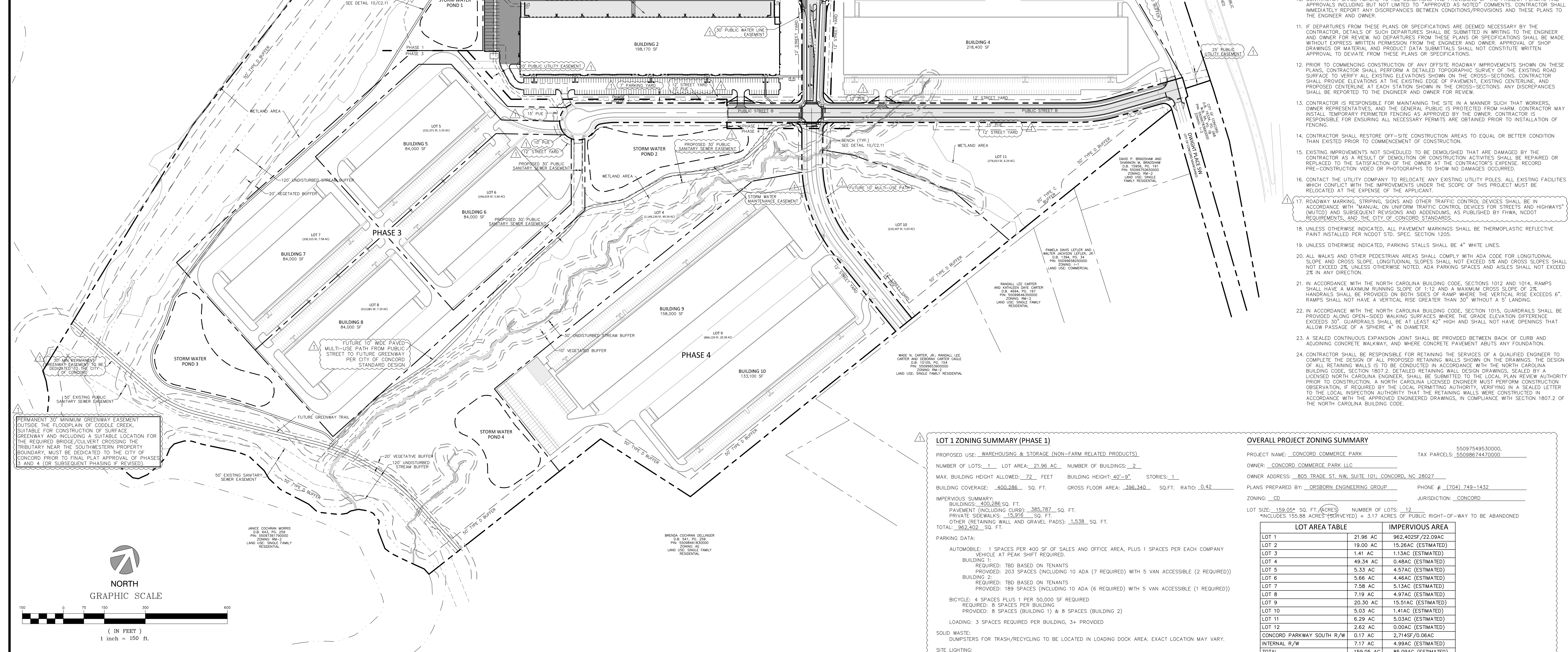
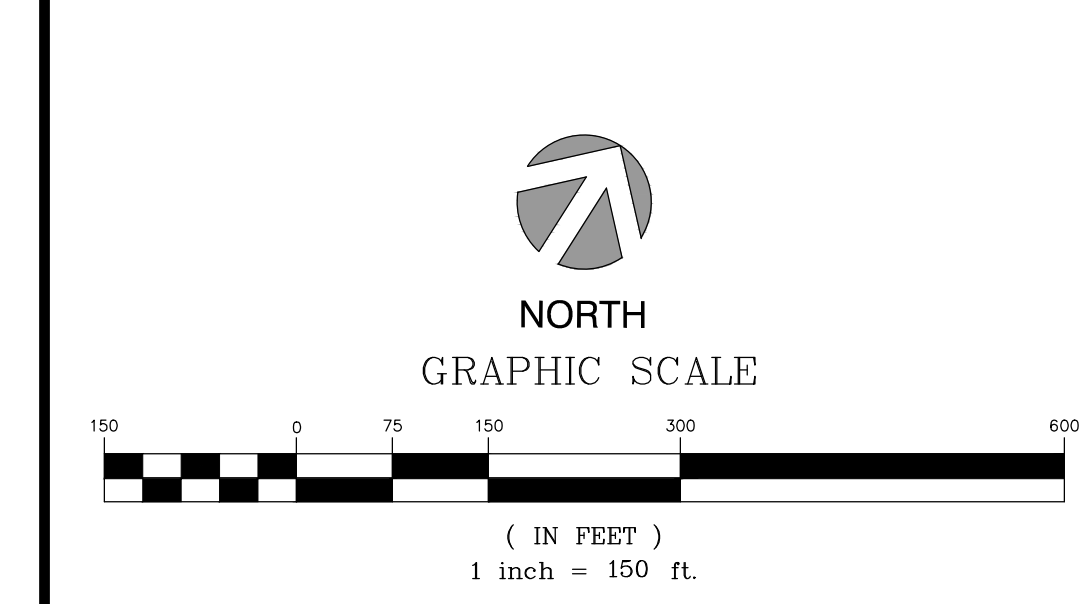


VICINITY MAP NOT TO SCALE



PERMANENT 30' MINIMUM GREENWAY EASEMENT OUTSIDE THE FLOODPLAIN OF CODDLE CREEK, SUITABLE FOR CONSTRUCTION OF SURFACE GREENWAY AND INCLUDING A SUITABLE LOCATION FOR THE REQUIRED BRIDGE/CULVERT CROSSING THE TRIBUTARY NEAR THE SOUTHWESTERN PROPERTY BOUNDARY MUST BE DEDICATED TO THE CITY OF CONCORD PRIOR TO FINAL PLAT APPROVAL OF PHASES 3 AND 4 (OR SUBSEQUENT PHASING IF REVISED)



JANICE COCHRAN MORRIS
D.B. 045, P.C. 209
PH. 5029741792000
ZONING: RM-2
LAND USE: SINGLE FAMILY RESIDENTIAL

BRENDA COCHRAN BELLINGER
D.B. 045, P.C. 209
PH. 5029741792000
ZONING: RM-2
LAND USE: SINGLE FAMILY RESIDENTIAL

SITE NOTES

- 1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A SURVEY PREPARED BY R.B. PHARR & ASSOCIATES.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING BENCHMARKS AND OTHER REFERENCE POINTS THROUGHOUT THE CONSTRUCTION PERIOD.
3. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, LOCATE ALL EXISTING UTILITIES, AND REVIEW THE COMPLETENESS OF THE SURVEY. CONTRACTOR SHALL REPORT TO ENGINEER AND OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS.
4. CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL CONSTRUCTION ELEMENTS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY. DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SHOWN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
6. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS AND NOT BY SCALING FROM THESE PLANS. ALL WRITTEN DIMENSIONS SHALL PREVAIL.
7. ALL IMPROVEMENTS AND WORK SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL STANDARDS. IN THE ABSENCE OF SPECIFIC PRODUCT SPECIFICATIONS OR CONSTRUCTION PROCEDURE, CONTRACTOR SHALL REFER TO THE 2024 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND SHALL SUBMIT THE DETAIL/SPECIFICATIONS TO THE ENGINEER FOR APPROVAL.
8. IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS ON THESE PLANS, SPECIFICATIONS REFERENCED ON THESE PLANS, DETAILS ON THESE PLANS, AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
9. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND THESE PLANS TO THE ENGINEER AND OWNER.
10. IF DEPARTURES FROM THESE PLANS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES SHALL BE SUBMITTED IN WRITING TO THE ENGINEER AND OWNER FOR REVIEW. NO DEPARTURES FROM THESE PLANS OR SPECIFICATIONS SHALL BE MADE WITHOUT EXPRESS WRITTEN PERMISSION FROM THE ENGINEER AND OWNER. APPROVAL OF SHOP DRAWINGS OR MATERIAL AND PRODUCT DATA SUBMITTALS SHALL NOT CONSTITUTE WRITTEN APPROVAL TO DEVIATE FROM THESE PLANS OR SPECIFICATIONS.
11. PRIOR TO COMMENCING CONSTRUCTION OF ANY OFFSITE ROADWAY IMPROVEMENTS SHOWN ON THESE PLANS, CONTRACTOR SHALL PERFORM A DETAILED TOPOGRAPHIC SURVEY OF THE EXISTING ROAD SURFACE TO VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE CROSS-SECTIONS. CONTRACTOR SHALL PROVIDE ELEVATIONS AT THE EXISTING EDGE OF PAVEMENT, EXISTING CENTERLINE, AND PROPOSED CENTERLINE AT EACH STATION SHOWN IN THE CROSS-SECTIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AND OWNER FOR REVIEW.
12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERIMETER FENCING AS APPROVED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
13. CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. EXISTING IMPROVEMENTS NOT SCHEDULED TO BE DEMOLISHED THAT ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE. RECORD PRE-CONSTRUCTION VIDEO OR PHOTOGRAPHS TO SHOW NO DAMAGES OCCURRED.
15. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
16. ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY FHWA, NCDOT REQUIREMENTS, AND THE CITY OF CONCORD STANDARDS.
17. UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC REFLECTIVE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1209.
18. UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
19. ALL WALKS AND OTHER PEDESTRIAN AREAS SHALL COMPLY WITH ADA CODE FOR LONGITUDINAL SLOPE AND CROSS SLOPE. LONGITUDINAL SLOPES SHALL NOT EXCEED 5% AND CROSS SLOPES SHALL NOT EXCEED 2%, UNLESS OTHERWISE NOTED. ADA PARKING SPACES AND AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
20. IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, SECTIONS 1012 AND 1014, RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:12 AND A MAXIMUM GROSS SLOPE OF 3%. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF RAMP WHERE THE VERTICAL RISE EXCEEDS 6". RAMPS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 30" WITHOUT A 5' LANDING.
21. IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, SECTION 1015, GUARDRAILS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES WHERE THE GRADE ELEVATION DIFFERENCE EXCEEDS 30". GUARDRAILS SHALL BE AT LEAST 42" HIGH AND SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
22. A SEALED CONTINUOUS EXPANSION JOINT SHALL BE PROVIDED BETWEEN BACK OF CURB AND ADJOINING CONCRETE WALKWAY, AND WHERE CONCRETE PAVEMENT ABUTS ANY FOUNDATION.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR RETAINING THE SERVICES OF A QUALIFIED ENGINEER TO COMPLETE THE DESIGN OF ALL PROPOSED RETAINING WALLS SHOWN ON THE DRAWINGS. THE DESIGN OF ALL RETAINING WALLS TO BE CONDUCTED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, SECTION 1807.2. DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY A LICENSED NORTH CAROLINA ENGINEER, SHALL BE SUBMITTED TO THE LOCAL PLAN REVIEW AUTHORITY PRIOR TO CONSTRUCTION. A NORTH CAROLINA LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, IF REQUIRED BY THE LOCAL PERMITTING AUTHORITY, VERIFYING IN A SEALED LETTER TO THE LOCAL INSPECTION AUTHORITY THAT THE RETAINING WALLS WERE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1807.2 OF THE NORTH CAROLINA BUILDING CODE.

LOT 1 ZONING SUMMARY (PHASE 1)

PROPOSED USE: WAREHOUSING & STORAGE (NON-FARM RELATED PRODUCTS)
NUMBER OF LOTS: 1 LOT AREA: 21.96 AC NUMBER OF BUILDINGS: 2
MAX. BUILDING HEIGHT ALLOWED: 72 FEET BUILDING HEIGHT: 40'-9" STORIES: 1
BUILDING COVERAGE: 400,286 SQ. FT. GROSS FLOOR AREA: 396,340 SQ. FT. RATIO: 0.42
IMPERVIOUS SUMMARY:
BUILDINGS: 430,286 SQ. FT.
PAVEMENT (INCLUDING CURB): 385,787 SQ. FT.
PRIVATE SIDEWALKS: 15,916 SQ. FT.
OTHER (RETAINING WALL AND GRAVEL PADS): 1,538 SQ. FT.
TOTAL: 962,402 SQ. FT.
PARKING DATA:
AUTOMOBILE: 1 SPACES PER 400 SF OF SALES AND OFFICE AREA, PLUS 1 SPACES PER EACH COMPANY VEHICLE AT PEAK SHIFT REQUIRED.
BUILDING 1:
REQUIRED: TBD BASED ON TENANTS
PROVIDED: 203 SPACES (INCLUDING 10 ADA (7 REQUIRED) WITH 5 VAN ACCESSIBLE (2 REQUIRED))
BUILDING 2:
REQUIRED: TBD BASED ON TENANTS
PROVIDED: 189 SPACES (INCLUDING 10 ADA (6 REQUIRED) WITH 5 VAN ACCESSIBLE (1 REQUIRED))
BICYCLE: 4 SPACES PLUS 1 PER 50,000 SF REQUIRED
REQUIRED: 8 SPACES PER BUILDING
PROVIDED: 8 SPACES (BUILDING 1) & 8 SPACES (BUILDING 2)
LOADING: 3 SPACES REQUIRED PER BUILDING, 3+ PROVIDED
SOLID WASTE:
DUMPSTERS FOR TRASH/RECYCLING TO BE LOCATED IN LOADING DOCK AREA. EXACT LOCATION MAY VARY.
SITE LIGHTING:
POLE MOUNTED SIGHT LIGHTING LEASED FROM CITY OF CONCORD

OVERALL PROJECT ZONING SUMMARY

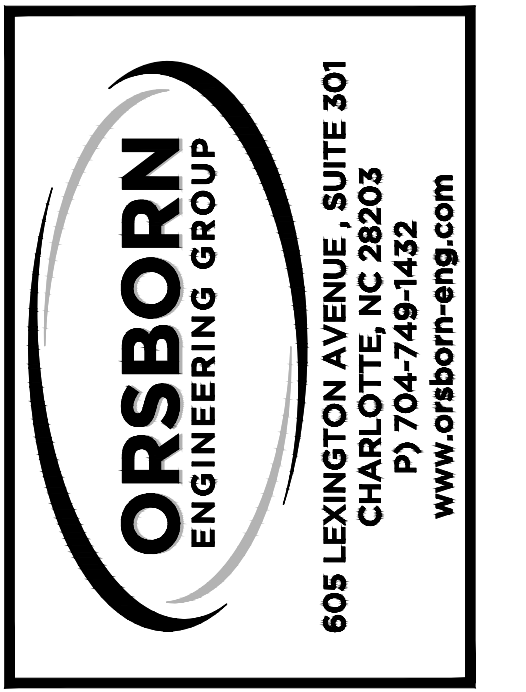
PROJECT NAME: CONCORD COMMERCE PARK TAX PARCELS: 55097549530000
OWNER: CONCORD COMMERCE PARK LLC
OWNER ADDRESS: 805 TRADE ST. NW, SUITE 101, CONCORD, NC 28027
PLANS PREPARED BY: ORSBORN ENGINEERING GROUP PHONE # (704) 749-1432
ZONING: CD JURISDICTION: CONCORD
LOT SIZE: 159.05* SQ. FT. (ACRES) NUMBER OF LOTS: 12
*INCLUDES 155.88 ACRES (SORVEYED) + 3.17 ACRES OF PUBLIC RIGHT-OF-WAY TO BE ABANDONED

Table with 2 columns: LOT AREA TABLE and IMPERVIOUS AREA. Rows include LOT 1 through LOT 12, CONCORD PARKWAY SOUTH R/W, INTERNAL R/W, and TOTAL.

NOTE: IMPERVIOUS AREA DEPICTED IN FUTURE PHASES ON THIS PLAN IS ILLUSTRATED FOR REFERENCE ONLY TO SHOW POTENTIAL FUTURE SITE LAYOUT. DEVELOPMENT IN FUTURE PHASES SHALL BE IN ACCORDANCE WITH ARTICLE 5.6 OF THE CONCORD DEVELOPMENT ORDINANCE.

OPEN SPACE:
REQUIRED: 31.81 ACRES (20% OF 159.05 AC)
PROVIDED: 29.82 ACRES AMENITIZED WITH WALKING TRAIL AND BENCHES
*ALL OF LOT 4 AND A PORTION OF LOT 1 IS PROVIDED FOR OPEN SPACE SEE SHEET C2.0B FOR MORE DETAILS

SITE LIGHTING:
POLE MOUNTED SIGHT LIGHTING LEASED FROM CITY OF CONCORD



OVERALL SITE PLAN FOR CONCORD COMMERCE PARK - PHASE 1 CONCORD, NORTH CAROLINA

CONCORD COMMERCE PARK LLC 805 TRADE STREET NW, SUITE 101 CONCORD, NC 28027

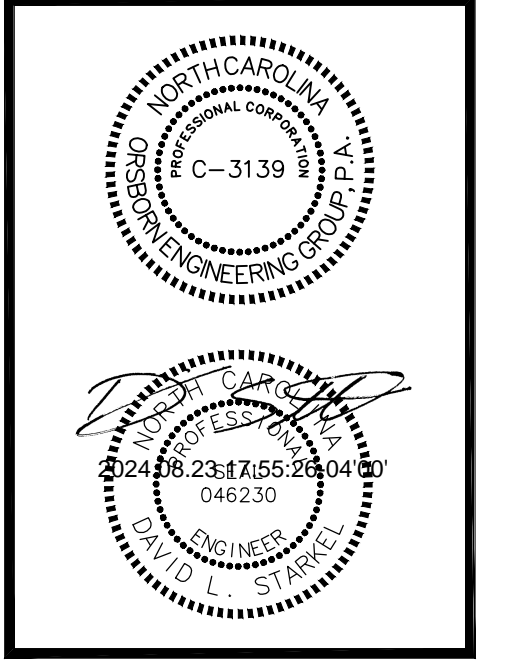
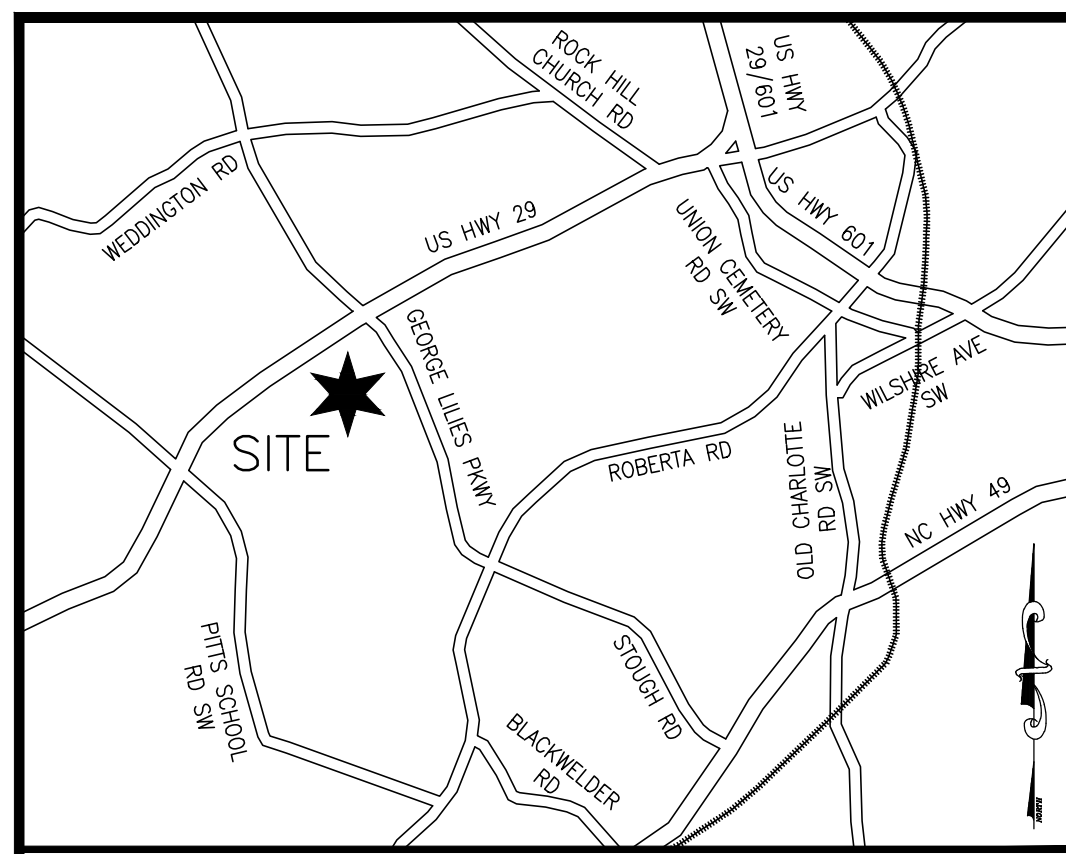


Table with 2 columns: REVISIONS, DATE. Contains a list of revision entries.

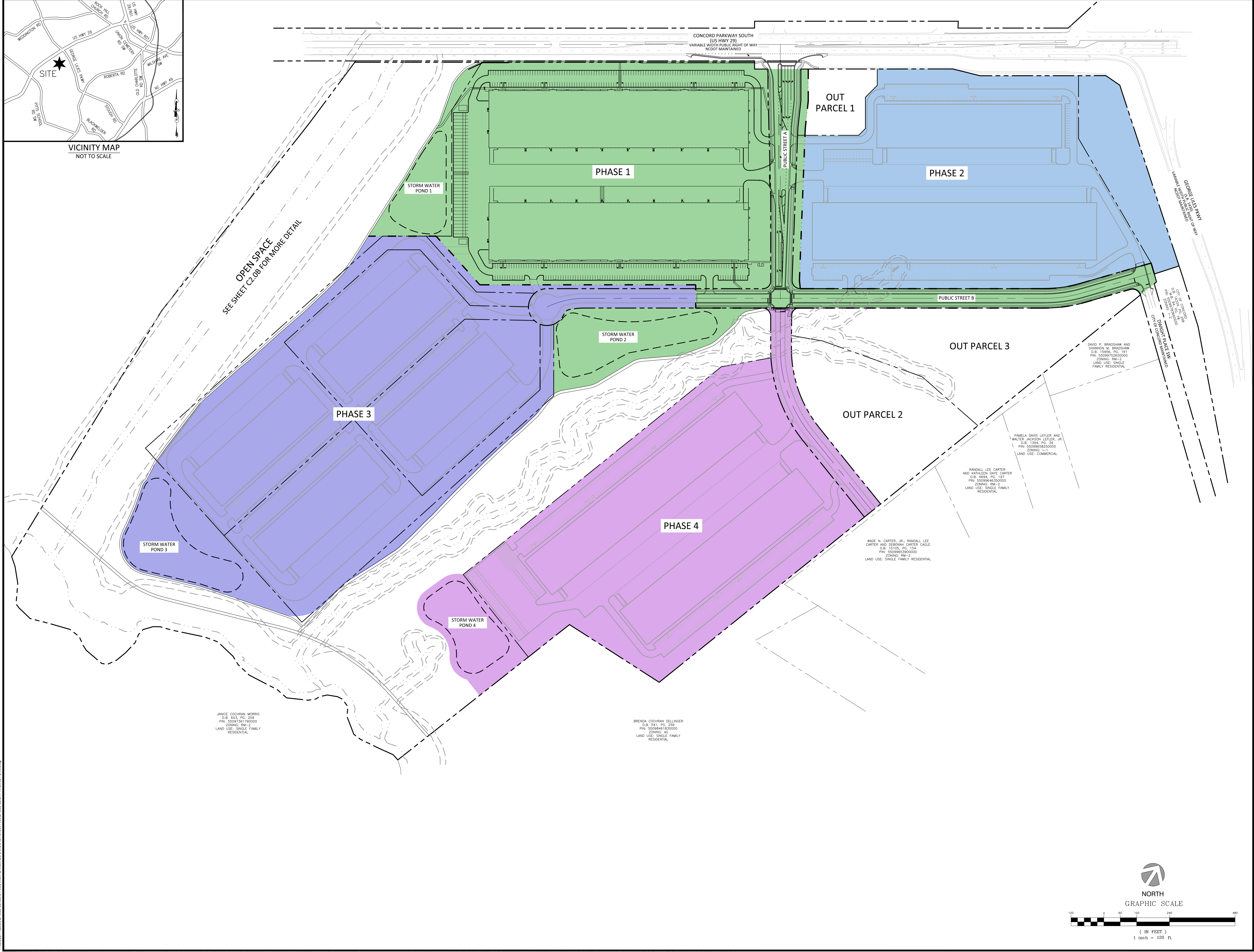
JOB # 24002 DATE: 06/05/2024 SCALE: 1" = 150' DRAWN BY: MLM APPROVED BY: DLS

C2.0

August 23, 2024, 4:48pm By: dmilak (ark) P:\Client\Projects\24002 Concord Commerce Park\Drawings\Sheet Files\C2.02 C2.02 SITE.dwg

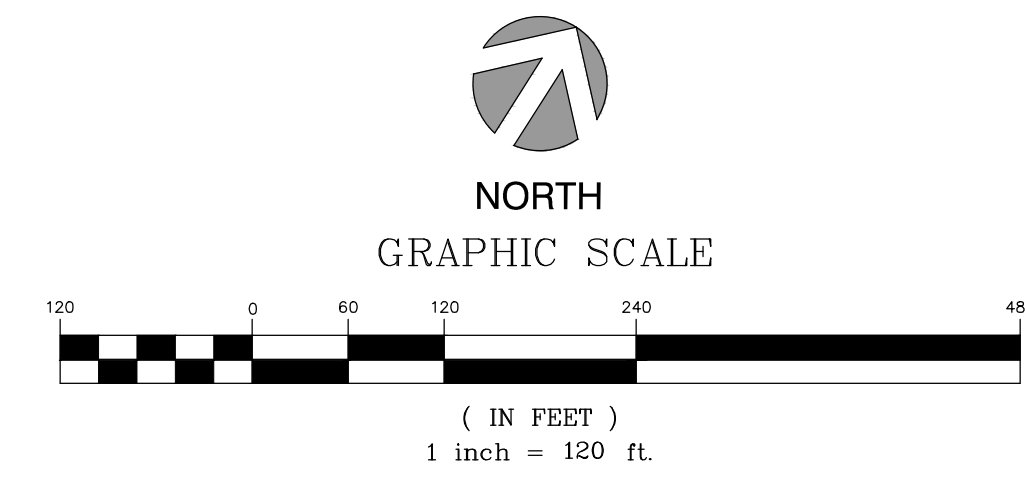


VICINITY MAP
NOT TO SCALE



August 23, 2024, 4:48pm By: daniel.dankel
P:\Client Projects\24002 Concord Pkwy\Plan_Sheet\Plan_Sheet.dwg (24002) C2.0A PHASING PLAN.dwg

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY ORSBORN ENGINEERING GROUP, PA SHALL BE WITHOUT LIABILITY TO ORSBORN ENGINEERING GROUP, PA.



	PROJECT INFORMATION: PHASING PLAN FOR CONCORD COMMERCE PARK - PHASE 1 CONCORD, NORTH CAROLINA
	OWNER INFORMATION: CONCORD COMMERCE PARK LLC 805 TRADE STREET NW, SUITE 101 CONCORD, NC 28027
NORTH CAROLINA PROFESSIONAL ENGINEER No. 00323 Exp. 12/31/2025	NORTH CAROLINA PROFESSIONAL LAND SURVEYOR No. C-3139 Exp. 12/31/2025
REVISIONS NO. DATE REVISIONS 1 08/23/24 REVISED PER COMMENTS 2 3 4 5	
JOB # 24002 DATE 06/05/2024 SCALE 1" = 120' DRAWN BY: LC APPROVED BY: DLS	C2.0A

NO.	DATE	REVISIONS

JOB #	24002
DATE:	06/05/2024
SCALE:	1" = 40'
DRAWN BY:	MLM
APPROVED BY:	DLS

